

THE ASHFIELD

DESIGN & COMMUNITY CODE



LUZBOROUGH



SEPTEMBER 2018

The Ashfield Design & Community Code

A Quick Guide

September 2018

- This Code is preliminary and will evolve over time to reflect delivery and received wisdom from the residents;
- New editions of the Code will be published on The Ashfield Partnership website which is currently under construction;
- The Code is written for the residents and occupiers of Luzborough, Hoe Lane, and Whitenap being the three development schemes of The Ashfield Estate;
- The Code sets out and explains the vision and ambitions of The Ashfield Partnership which is the landowner and housebuilder team responsible for delivery;
- The Code regulates change so as to protect the public realm for all
- If you are contemplating change to your property the Code explains how to seek approval and why some changes will not be permitted;
- While you may also need planning permission and building regulations approval the primary legal requirement is to have written approval from The Ashfield Estate which is responsible for the legacy;
- The Code also sets out a number of other initiatives for the scheme, including environmental growth, sustainability, and social outcomes as a basis for good place-making and building community;
- Until The Ashfield Partnership website (with its direct link to The Ashfield Estate website) is operational you should approach the Estate in the first instance and contact details are given on Page 8.

CONTENTS

Introduction	Boundaries
Place-making	Ancillary Elements
The Design and Community Code	Commercial Premises
Legal and Management Framework	Lettering and Numbering
Continuity and Evolution	Accessibility
The Masterplan	Utilities
Food and Farming	The Natural World We Share
Energy and Waste	Legal Notices
Recreation	Appendices:
Neighbourliness	Approved Colours
The Built Environment and the Public Realm	Lettering & Signage
Guidance for Extensions	1. House Names
Building Materials and Details	2. Numbers and Street Names
External Appearance	Luzborough Stipulations
Outbuildings	Community Stakeholder Covenants





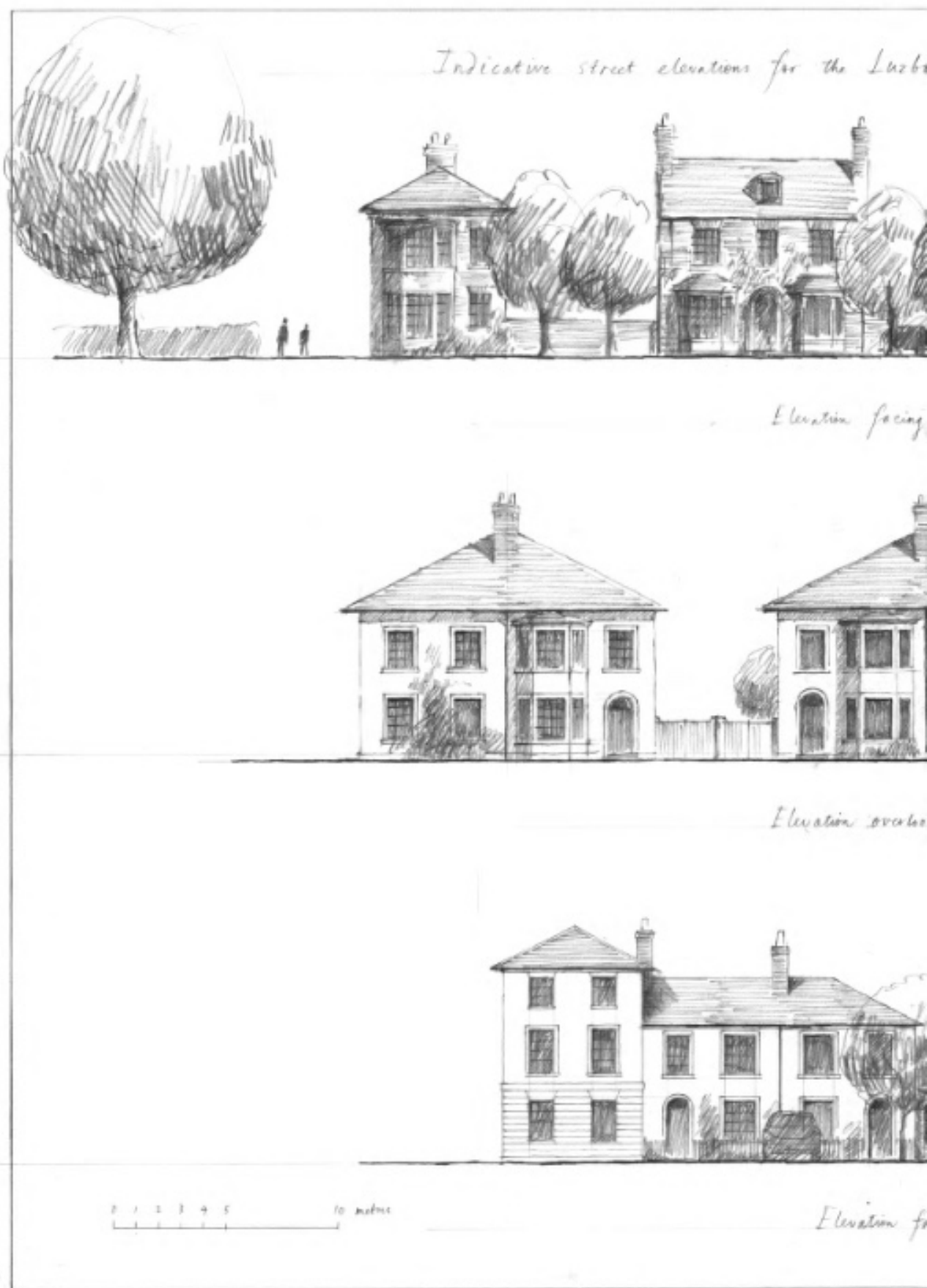
Design & Community Code Luzborough

A Welcome Message from Tim Knatchbull

Welcome to Luzborough! I hope very much that your decision to live here reflects your appreciation of what we are trying to do to make Luzborough, Hoe Lane, and Whitenap genuinely liveable communities - places that will continue to be treasured as they mature over the centuries that lie ahead.

This booklet is really important in explaining the philosophy and reasons for the overarching controls that the Ashfield Estate retains over its three schemes at Romsey and North Baddesley.

If you have ideas on how to improve your property, or are planning on making any alterations to it, please make contact first with the Ashfield Estate so that we can help guide you forward with a successful application for consent.



rough plot site, Romsey, Hants.



Botley Road



king walled garden



acing square

Revision A - Elevation facing square entrance - 12/12/12

935, ADAM Architecture

February 2013

5611 / 1A

Contact

Until The Ashfield Partnership website is operational with a link to The Ashfield Estate website you should in the first place make contact with Tim Gray as below:

Email: tim@cascapediaconsulting.com

Telephone: 07855 959377



Original concept 2013



Introduction

Tim Knatchbull, the custodian of The Ashfield Estate, faced a difficult decision at the beginning of this century. Volume house builders, land dealers, and planning consultants were making offers to secure and promote parcels of his land around Romsey. It took little research to understand the consequences of surrendering control however tempting the offers. Tim decided instead to find a way to bring about development in which he could take pride by

- Helping to build community and create a legacy;
- Asking how new development could contribute locally rather than detract;
- Considering the social outcomes and finding a way to make great places which obtain enduring sustainability;
- Thinking about better urban and rural connections and how The Ashfield Estate hinterland to the three development sites could be used.

Many considerations yet no shortage of ambition and determination and a responsibility in the knowledge that Utopia may not be altogether possible, but, by working together with local people, a great deal may yet be achievable striking the right balance where necessary. But not being afraid to challenge convention and to be prepared to break a few rules.

This Code is a document which will evolve and it will be updated as events unfold and as we learn from practical experience on the ground. The Ashfield Estate believes that a Code such as this is needed now for the Luzborough site but it also looks ahead to the other two sites at Hoe Lane and at Whitenap. This Code will adapt over time for the specifics of the other two developments which are part of the same family, but the aim is to hold good to the initial principles set out.



The Ashfield Partnership

In deciding to do things differently The Ashfield Estate recognised that it could only hope to deliver its vision if it was confident that this made good sense and was faithfully buildable. It is no good creating artist's impressions or articulating great ideas if, for one reason or another, these cannot physically be delivered. The Ashfield Estate needed guidance not only from engineers and ecologists, planners and architects, traffic consultants and landscape architects, but from the people who would actually build the place.

Housebuilders come in all shapes and sizes but they know best what will work and what will sell. If great plans are not to be compromised later then it makes sense to work with housebuilders to interrogate the vision that has

been validated so as to be practical.

The Ashfield Estate undertook a thorough selection process to find builders with the enthusiasm to work hard together to make these schemes possible capturing the spirit, the heart and the soul, of the vision. The Ashfield Partnership is C G Fry and Son, Morrish Builders, Wyatt Homes and the Ashfield Estate. These three housebuilders are locally based, family owned, well respected craftsmen house builders with the necessary experience and wisdom to help guide The Ashfield Estate to achieve plans with real integrity.

We refer to the note in respect of The Ashfield Partnership in the Legal Notices on page 63.

The term Partnership is used to describe the four parties working together, however, this is not a formal, legal partnership with joint and several liabilities.



Field Farm, Shepton Mallet, Somerset

Historic Maps

Here are some extracts from historic maps which we hope are interesting. These maps and the local topography have influenced the thinking behind the Masterplans for each scheme.



Ashfield Common 1791



Ordnance Survey 1806



Ordnance Survey 1810

The Philosophy

The heart of the approach is to make places that make sense. To deliver places to live and to work which suit the lives people might wish to live. And to respond to a global responsibility that we must live our lives so as to ensure a bright future for the

planet and for the generations who will follow us. Churchill observed that we shape our buildings and thereafter they shape our lives. How we build now could help to determine a better future.



Tregunnel Hill, Newquay, Cornwall

The Ashfield Partnership

Building a Legacy

In the Appendices at the end of this Design and Community Code there is a link to a publication by the Prince's Foundation titled Building a Legacy which may be of interest in describing how this new movement to build differently has been established.

Securing the Vision

There is no point in setting a radical agenda if it cannot be secured. An artist's impression is one thing but it only has meaning if it has integrity. There is little value in building a great place if there is no means in place to engender civic pride and to regulate. The aim here is to deliver the conservation areas of the future and these merit well explained and justified control.

One way to ensure a faithful delivery is to establish a relationship with like minded house builders who are capable and experienced in matching a landowner's aspirations; hence the promotion of the schemes by The Ashfield Partnership.

A second step taken by The Ashfield Estate is to adopt an enduring position to promote and manage the Luzborough Stipulations helping to set up a Residents' Association or other body so that, in time, the scheme can become self governing. The important element here is to establish the right legal framework from the outset and for the future. When construction is complete then the housebuilders' role will have concluded and it will be for the Ashfield Estate to take matters forward.

The third component is in following both tradition and contemporary practice aiming for schemes

which prove to be successful by being popular.

One might say the best of both worlds. It would be brave to anticipate how technology might inform changes in living patterns or how the environmental challenge might best be addressed, but much effort has been made to plan new communities which are not dependent on motor cars. The advent of battery powered vehicles may permit a change of emphasis. Even then there is no doubt that better neighbourhoods and healthier places are likely to be those which favour pedestrians and cycles not least because these encourage greater social interaction.

If you can walk out of your front door in the morning, perhaps dropping children at school, go to work, do some shopping at lunchtime, and return to take part in recreation, social, or cultural activity without using a vehicle then life might well be a more rewarding experience.

Sustainable living is about how we choose to live our lives. The question is whether new development affords the ability to make those choices. In order to secure that vision the aim is to settle a Masterplan which anchors decision making through the planning process.

There is one other agenda which The Ashfield Estate is very keen to address. Food and Farming is a simple title for quite a complex vision. And to make it work it will need support from the community. The belief is that people are genuinely interested in food provenance, in how we farm our land, the impact on the natural world, and in healthier options for our families.

The boundary between town and country has in recent times somehow become impermeable whereas if the two could be purposefully reconnected then much could be achieved. The Ashfield Estate has in mind that the agricultural and woodland hinterland could be more accessible and could be managed so as to provide local food and timber to mutual benefit. There is much work

to be done and in part plans can be shaped to respond both to demand and to good ideas. There is no rush and the best things do need careful consideration and planning. For the moment it is a vision and one that is not blinkered. The Ashfield Estate would hope to keep you informed of progress. In the meantime do please let us know what you think.



Field Farm, Shepton Mallet, Somerset

Place-making

It is hard to describe exactly what makes good places. The best places attract people. They are places which make sense. Places which lift the spirits. Places which are not self-conscious appearing effortless in their design. Places where walking is the obvious choice.

Places which work for residents but also for neighbours. Places which afford opportunities for wildlife. Places which are logical and useful. Places which are beautiful. Places which reflect their location so that you know where you are.

Good towns and villages are easily navigable. There's a good place for a shop. The pub often sits on a junction with space to the front. The

Church is self evident. Houses and cottages sit comfortably defining interesting spaces. There is a logical hierarchy and it is fairly obvious which is the best route to take from one place to another. The materials feel right and, together with the architecture, reference the vernacular.

Street signage, lighting, and furniture is restrained adding quality rather than detracting. It's a place where you would like to live. There is a value beyond the bricks and mortar that make houses. Homes feel more secure being overlooked by workspace during the day and vice versa overnight. Children should feel safe in the street yet be adventurous and curious given the hinterland.



Romsey, Hampshire

There is no explanation as to why, despite all the mechanisation and the technical advances achieved since the Second World War, we have somehow lost the ability to build such places. Places that were originally made with not much more than a spade, bucket, hod, trowel, block and tackle, a wheelbarrow, and some scaffolding.

They might have been damp and occasionally hazardous in terms of fire when gas and electricity arrived. But we can take the best from contemporary practice to make new homes fit for the future but without having to be poorly and thoughtlessly designed thereby failing to make great places.

As a race we cherish the places we like. If the Ashfield Partnership has designed and built well then the basis for civic pride is established. But there is more to great places than simply the built environment. There is pride to be taken in living sustainably. There may be interest in how the development provides for wildlife or in the Food and Farming Strategy. Access to the hinterland is an asset as is how we make connections with adjacent neighbours at Romsey and North Baddesley.

To make things special there will be work to be done and decisions to be made. The Ashfield Partnership can set a template but how residents choose to take matters forward is important in terms of future governance and protection.

We also need extrovertly to think about how new development relates to existing settlement hosts. There is a good reason why new housing estates are not welcome as neighbours but we are giving thought to what it is that new development can do both to meet local needs and also to enhance settlements. For example at Hoe Lane how might the new scheme bring about positive change to Mountbatten Park?



The Design & Community Code

Each building at Luzborough, Hoe Lane, and Whitenap has been, or will be, designed not so much to stand out but to contribute to making the place. Phases and streets may reveal a particular character but they will conform to the overall Masterplan which aims to secure the traditional Hampshire, specifically the Test Valley, vernacular.

This Code is based on the consultation, research, and evolution of the design principles established since the Enquiry by Design held in 2008. The approach taken is not, however, conventional and therefore some of what is expressed may not be familiar. The key to the success of these schemes is in establishing support locally from the new residents and occupiers for this novel approach and the initiatives comprised within it.

We hope the new communities will embrace the thinking and take ownership of, and civic pride in, the built environment. While The Ashfield Estate will continue to take an enduring interest in the three schemes to ensure overall regulation where necessary, the hope is that, in due course, a Residents' Association, or similar body, will emerge to promote this Code and manage matters covered by it with a Management Company responsible

for communal areas. This model will enable us to review the Code and the schemes so as to adapt and to shape things as we move forward.

The Design and Community Code is intended therefore to give confidence to owners and occupiers that things will not change without consensus and that, where change is sought, the Ashfield Estate will regulate matters so that the high standards set are maintained for the benefit of all. The Code explains the thinking and the detail of the approach so that this is easily understood by buyers and occupiers of new homes and workspaces. In other words if you buy into the scheme you do so appreciative of what has been designed and on the understanding that if you are thinking about some change to your property there are covenant controls in place. We hope you will agree that only sensitive and well considered change is likely to be possible. Some proposals, on that basis, may not be permitted.

The Design and Community Code, by its very nature, will evolve over time as the three schemes emerge and we can then provide up to date information and images of what has actually been built.



Artist's Impression of Luzborough Green, Hampshire

Legal & Management Framework

1. Section on Legal & Management Framework: Specific Legal Content

- 1.1 One of the purposes of this Code is to draw attention to the Luzborough Stipulations incorporated into the legal title to The Luzborough Estate and its dwellings. The Luzborough Stipulations apply to both freehold and leasehold properties. The Luzborough Stipulations should be read in conjunction with the Community Stakeholder Covenants set out in the Planning Agreement for The Ashfield Estate. The Luzborough Stipulations provide for each freehold owner and tenant to be provided with a copy of the Code so that they are fully aware of the Luzborough Stipulations in Appendix 3.
- 1.2 The Luzborough Stipulations are binding on all properties and their owners' successors in title and occupiers. The Luzborough Stipulations are intended to be enforceable by The Ashfield Estate, the owners of dwellings at The Luzborough Estate and any Management Companies. Breaches of the Luzborough Stipulations may result in enforcement action by The Ashfield Estate, the owners of dwellings at the Luzborough site or the Management Company.
- 1.3 The Luzborough Stipulations come into effect on the initial sale of each dwelling. The principal obligation is not to alter or extend the exterior of a dwelling or to carry out any other external works without the The Ashfield Estate's prior written consent. The application process is described at the end of this Code.
- 1.4 Matters relating to the construction of buildings and use of land may constitute "development" under the planning legislation. However, some minor matters including small extensions which may be "permitted development" under the planning legislation may nevertheless still be subject to the Luzborough Stipulations and require prior written consent. These minor matters may include constructions of extensions, removal and changing of windows and doors, insertion of dormer windows, erection of porches and replacement of original materials by other materials.
- 1.5 In relation to the general management of the Luzborough site and particularly its communal areas a management company is to be set up by The Ashfield Estate to provide services and carry out relevant works. Owners of dwellings will be entitled to become members of the management company and will enter into Estate Deeds with the management company for the provision of the services and works and payment of the relevant charges.
- 1.6 The development of the Luzborough site will be carried out in accordance with the relevant planning permissions obtained by The Ashfield Partnership and subject to the provisions of planning agreements under the planning legislation. The detailed development and specific planning permissions will be as outlined in the Masterplan which may be varied by The Ashfield Partnership from time to time. However, at any one time the current Masterplan is intended to serve as a guide as to the overall development and its component elements.
- 1.7 The Ashfield Estate may from time to time vary the Luzborough Stipulations and any variations will be notified to owners of dwellings.

Continuity & Evolution

One of the bigger challenges faced by developments which aspire to make great places is in making provision for the future so that the scheme improves with age rather than being diminished by the passage of time.

It helps to use traditional natural materials because they do tend to age well. But this evolution of a place is more to do with how it is governed and regulated so as to be socially successful. Appearance is important but how residents feel about the place is the key.

We tend to cherish places that are beautiful and to conserve them. While we might hope to be building the conservation areas of the future do we actually want to be statutorily preserved or would it be better for the community at a very local level to determine affairs?

Nowadays local authorities have very difficult decisions to make about their expenditure. In most cases a volume housebuilder would aim to devolve all responsibility to the local authority for the maintenance of open space, the highway network, street furniture, and lighting. In return the local authority seeks a large commuted sum from the housebuilder to fund this obligation into the future.

The problem is that in order to keep costs low the choice of surfaces, signage, lighting etc is utilitarian and standardised. It's one reason why so many housing estates look so similar.

Furthermore it becomes a battleground in negotiations and because the housebuilder disappears on completion, usually having no residual interest, it is the residents who inherit the problem if communal

areas are not in fact maintained as they might wish.

There is no perfect solution. Perhaps one better way is to have less of the public realm adopted and instead define a management structure which can be controlled by the residents. The principal roads might be best in the hands of the highway authority but most of the rest could be better handled by the community. In this case the areas in question can be placed into a Management Company. The residents pay an annual service charge and engage The Management Company to look after and to maintain things as decided by consensus.

There is a cost but in return the residents can determine affairs and take ownership of the public realm. If this works well and in the right spirit it encourages good social interaction and responsibility. It's how most villages and towns used to work.

The Ashfield Estate thinks that this concept is the right one given that the Public Realm is intended to be special. It is also hoped that this approach will encourage the early formation of a Residents' Association. There will inevitably be a period of transition while the development schemes take shape and as the places settle down. The Ashfield Estate has an enduring interest in all three schemes and how they relate to The Ashfield Estate hinterland.

For these reasons The Ashfield Estate will act as godfather to the three schemes as they decide and establish their management template. At the right time The Ashfield Estate could then step aside.



Residents' Association

The Ashfield Partnership believes that community ownership of the three schemes should be transferred to those who buy into the project.

The Ashfield Estate is happy to remain in place to assist the evolution of the places created and to secure the controls established within the legal framework. But the concept anticipates that the best people to manage affairs in the longer term are the residents and occupiers. We are trying to build the conservation areas and listed buildings of the future but we recognise that the planning system has inherent limits. Look at what happens to some of the best towns and villages in this country. No planning authority is empowered to exact the

regulation necessary over new development so we need to help them and the new communities to achieve those controls.

The Ashfield Estate is concerned to make this possible and believes that good governance by a Residents' Association supported by this Design and Community Code is the solution.

We need also to bear in mind that new development brings about significant change and, in particular, for neighbouring residents. The best Residents' Associations make good connections with existing community interest groups aiming to promote integration.



Romsey, Hampshire

The Masterplans

Estate Wide

The Ashfield Estate believes that the broader geography and topography should inform the evolution of the designs for the three sites. It has therefore commissioned an Estate Wide Masterplan.

It is likely that further work will take place to develop this Masterplan since it is an iterative process given that no assumptions can be made about what will be granted planning consent at Hoe Lane and at Whitenap. The Estate Wide

Masterplan may well have to react to events for that reason.

In pure terms the idea is that the hinterland to the development sites is very important in making places more liveable and in being able to fulfil the key strategies, such as Food and Farming, so as to be more sustainable in practice.

All Masterplans exhibited in the Design and Community Code can only reflect present thinking. These Masterplans will evolve and change over time and The Ashfield Estate and Ashfield Partnership reserve the right to make changes.



Luzborough Green, Romsey, Hampshire

Luzborough



Luzborough is now under construction. The Ashfield Estate believes that this small site for 56 dwellings based around The Luzborough pub, which the Estate leases to Greene King, and within walking distance of schools and employment is an important forerunner helping to prove which traditional building techniques can be successfully accommodated within the plethora of provisions from Building Regulations as well as other Government requirements which tend towards a very standardised approach. This may make sense to the volume housebuilders but it does result in a lot of new homes all looking the same and lacking in local character or quality.

Hoe Lane



The site at Hoe Farm, but known as Hoe Lane, is described in the planning application submitted to Test Valley Borough Council on the 5th of October 2016. See TVBC's planning website to see the application reference 16/2432/OUTS.

The Outline Planning Consent is supported by a Design Code. The scheme envisages about 300 homes, allotment gardens, some employment and limited local retail space.

Hugh Petter of ADAM Architecture, based locally in Winchester, is helping the three housebuilders to prepare a Reserved Matters Application comprising detailed designs for the scheme.

Whitenap

The Masterplan for Whitenap is yet to be devised but much investigation is being compiled in order to help shape proposals. That work follows on from the Enquiry by Design carried out in 2008 which sets out some key principles. Other influences have emerged through the adoption of the site within the Revised Local Plan. Some elements may not be feasible in light of the information gathered in the context of the desire to create a really special place. The Ashfield Partnership intends to consult further before drawing up its Masterplan for the scheme.

Food & Farming

The vision for Food and Farming Strategy is based around the following principles. We will not know what can be achieved and delivered until we embark on the journey and begin to understand the challenges and obstacles. We will be guided by the principles set out here and over time measure our achievements against them.

It's a complicated, often political, subject and there may be other valid considerations but common sense suggests that food miles, intensive arable monoculture, sea based salmon farming, and contra seasonal consumption of imported vegetables are probably not a great idea if we want to preserve the planet in terms of carbon emissions and the fragile eco systems that the natural world supports.

The world needs more food. There are limited resources, including a shortage of water, to serve a growing population. The question is how far can we afford to compete with nature to feed ourselves? It's inevitable that the population of a wealthy country tends to want more having developed tastes based on prosperity.

A more sustainable approach might involve growing much more of our own food locally without straining the environment. Energy in

transporting food could be saved and we might be able to eat more healthily if we were discerning about how food is grown and sourced.

It follows that in creating new places to live we should at least look at opportunities to grow and provide food in a sustainable manner.

As part of the wider Ashfield Estate's Food and Farming Strategy the Partnership will make provision for food production close to and within the fabric of the three development schemes.

Food and Farming Vision

To reconnect the community comprising the expanded population of Romsey and other residents of the area with the surrounding landscape through the medium of food and farming. The philosophy behind this vision is the recognition that the consumption of local food produced in a sustainable manner delivers multiple benefits to a community, reinforcing its identity and connectedness with the local ecology including its soil, the promotion of health and wellbeing, plus multiple other social, cultural and economic benefits. To deliver this connectedness the project's



aims and objectives should include development of a housing plan which is designed specifically around the connection of that community with its food production system.

These systems should be designed in such a way that they would enable the community and linked residential communities, its citizens and those of linked residential communities to derive a greater percentage of its affordable staple food from the Ashfield Estate farm and other linked local food and farming projects as is consistent with the nature of the food products which can sustainably be produced on those same farms taking into account soil, climate and landscape constraints.

To organise the physical design of the production, processing, distribution and retailing of such food products to ensure they reach the individuals that consume them in ways which are as affordable, convenient and attractive as possible.

To set standards for food production which ensure those systems of production maintain and build natural and social capital and minimise/avoid environmental pollution whilst at the same time

promoting the health and wellbeing of the citizens who eat it.

The design of such food systems should be aligned to the principle of the circular economy, obeying the law of return of all nutrients and food byproducts including the recycling of organic waste produced by the community through composting.

To link the above food system with parallel education programmes in schools which are designed to promote the awareness of young people of the systemic interrelatedness of their health and wellbeing with the story behind their food.

To ensure that such food systems are designed in such a way that they are of an appropriate scale to benefit from citizen engagement, in the production systems using models such as the Community Supported Agriculture approach.

To monitor the success or otherwise of the Ashfield farm initiative using a set of sustainability metrics against which the productivity and economic return, soil, water, air, energy, nutrient cycling, plant nutrition, livestock, resilience and social and economic benefits can be measured in time.





Allotments

Growing your own vegetables makes good sense. It is hard to gauge the likely demand at Hoe Lane and at Whitenap but allotment gardens will be provided for residents and we can then judge demand from early phases.

This is an area where the Residents' Association or similar body and the Management Company will need to decide how best the provision should be operated. In the experience of the team from elsewhere we have found that allotment gardens are very popular for a number of reasons.

Kitchen Gardens

These are more formal gardens usually walled specifically for a small group of houses which might be at some distance from an allotment garden. These would be managed direct by the households while the facility remains in the ownership of the Management Company. Play space can often be incorporated.

Edible Streets

The simple idea here is to plant usefully rather than ornamentally. It just makes sense to be able to grow fruit, nuts, and herbs in spaces which in conventional housing estates tend to look like a supermarket car park.

Because place-making aims for coherent frontages to make streets and places by parking in courtyards to the rear there are many opportunities on blank walls and in front gardens for edible planting. These will need maintenance and that will fall to residents in part and also in the common areas to the Management Company.



Community Orchards

The aim here is for the Ashfield Partnership to provide one or more Community Orchards. Much will depend on consultation with residents and neighbours but these can be real assets in terms of providing useful green space, an educational and therapeutic facility, and an opportunity for positive social activity. See <http://newquayorchard.co.uk>

Firewood

The Ashfield Estate has several woodlands adjacent to or near to Hoe Lane and Whitenap. How these woodlands are managed and what they can also do for the community is worth considering. Access is one thing as a part of the Suitable Alternative Natural Greenspace. But these woodlands can provide much more. Firewood is one obvious example but there could be other products depending upon demand.

Composting

Test Valley Borough Council does not collect separated food waste at present. It does collect

other separated materials for recycling. All other household waste goes to an incinerator which produces electricity.

Within the UK on average we throw away almost 30% of the food we have bought. In these circumstances The Ashfield Partnership believes it makes good sense to encourage composting. It is planned that purchasers of new homes on the three sites will be asked by the sales team if they would like to have a composting bin provided at no extra cost in the garden.

Rainwater Collection

The same approach applies to rainwater collection. Provided we do use the water we collect in our gardens it makes a big difference to collect rainwater. It's useful, it is free, and it slows up the run off from heavy rainfall back into the watercourse.

The Ashfield Partnership expects to provide a rainwater butt for every home with a garden.

Energy & Waste

The amount of energy we consume and how that energy is derived impacts directly on our collective sustainability and on climate change through carbon emissions.

In a statement issued in September 2017 the Government said: “Renewables’ share of electricity generation was a record 29.8 per cent in [the second quarter of] 2017, up 4.4 percentage points on the share in [the second quarter of] 2016, reflecting both increased wind capacity and wind speeds, as well as lower overall electricity generation.”

The questions here are whether or not it would make sense to generate renewable energy locally. Whether the landscape impact of wind turbines or solar photovoltaic arrays is more harmful than the benefit derived. Whether there are other measures which could be taken which compensate in terms of overall sustainability.

The preliminary conclusion is that a fabric first approach is the most enduring solution coupled with place making to enable a sustainable pattern of living. If we are right to believe that green energy will be available from national generators then how we use water, procure food, and deal with waste may prove to be the right path to take.

In all these things helping, by thought and design, to engender an awareness and a culture, while remaining adaptable to a rapidly changing technological context is the best that we can do.

Is it an urban myth that it takes the same amount of water that a human being will consume in an average lifetime to make three pairs of jeans? We may hope that the clothing industry finds solutions to such problems but there is much that

we can do to save energy and water consumption in how we run our households.

How we wash clothes, use water, dispose of sewage, and which detergents we use are important to the environment and, at a local level, to the quality of the water feeding back into the River Test. This is both about what we take out as it is about what we put back.

Rivers such as the Thames lost their prodigious population of Atlantic salmon and sea trout owing to pollution long before they were threatened by other problems at sea. Since the 1970s efforts have been made to reintroduce these species into the Thames but this proved almost futile given the failure to remedy the core problem. The River Test still has a decent run of salmon and sea trout. Much reduced in recent decades but still present since these migratory species are incredibly resilient. It also supports many other species such as grayling which are indicators of good water quality.

How we plan new development in the Test Valley and how we choose to live our lives will influence outcomes for these iconic bellwether fish.



Recreation

Recreation is good for the soul and also a fulcrum for good social connections. Making places which anticipate this is important. Healthy living is the objective but so too is social interaction. We all depend on others from time to time and how we succeed in building community spirit is the challenge.

Access

The Ashfield Estate is hoping to make access to the hinterland possible albeit in a managed way so that this works comfortably with farming operations. Understanding how food is grown and land is husbanded is part of the purpose as well as hoping that food is available to buy locally. This will depend on how the Food and Farming Strategy evolves.

Footpaths

There are public footpaths but the intention is to create additional permissive paths so as to make sense of pedestrian access to the obvious destinations. A map will be produced in due course.

Mountbatten Park

At Hoe Lane the Ashfield Partnership is keen to work with the North Baddesley community in order to see if the development scheme can make improvements to Mountbatten Park.

Suitable Alternative Natural Greenspace

There are statutory requirements to make provision locally for dog walkers to reduce pressure on the New Forest. How this is achieved will be one measure of the success of a non conventional approach. Rather than exporting a planning problem in the most expedient fashion the Ashfield Partnership is keen to make a virtue of this challenge so that the daily need to walk dogs becomes a convenient and special experience which, by design, adds value to the task.

The Luzborough House

The Ashfield Estate owns the freehold of The Luzborough House which is operated by Greene King. It is an aspiration of The Ashfield Estate to bring the Luzborough House within the overall Food and Farming Strategy.



Neighbourliness

Within the Scheme (Luzborough/Hoe Lane/Whitenap)

This Design and Community Code sets out standards for the new community within the Luzborough Stipulations (see Appendix 3). This is not intended to be draconian but it is to establish a framework and a culture. Over time the The Ashfield Estate may vary the Luzborough Stipulations and at the appropriate time pass to a Residents' Association or similar body the responsibility for promoting and enforcing the Luzborough Stipulations.

Within the Local Context

The new residents are, however, joining established larger communities and how these relationships work will be an important measure of the success of the design and placemaking. One objective is to design so as to make possible good social integration between the new and the existing communities.



The Built Environment & The Public Realm

Creating a good place which we may cherish is as much about how the place works as it is about individual buildings. Often it is the spaces between the buildings which determine how those buildings perform. Within buildings some rooms feel more comfortable than others. Some rooms lift the spirits and the same is true of the public rooms which are the spaces which belong to the community.

Materials help to remind you where you are. They can also help to connect a new place with the form and feel of the settlement to which it relates. Often new post war development has failed that test but there is no reason not to try to make that connection again.

In light of the effort made to create good places it follows that change needs to be carefully handled. Some change can improve the place but, equally, other modification can detract.

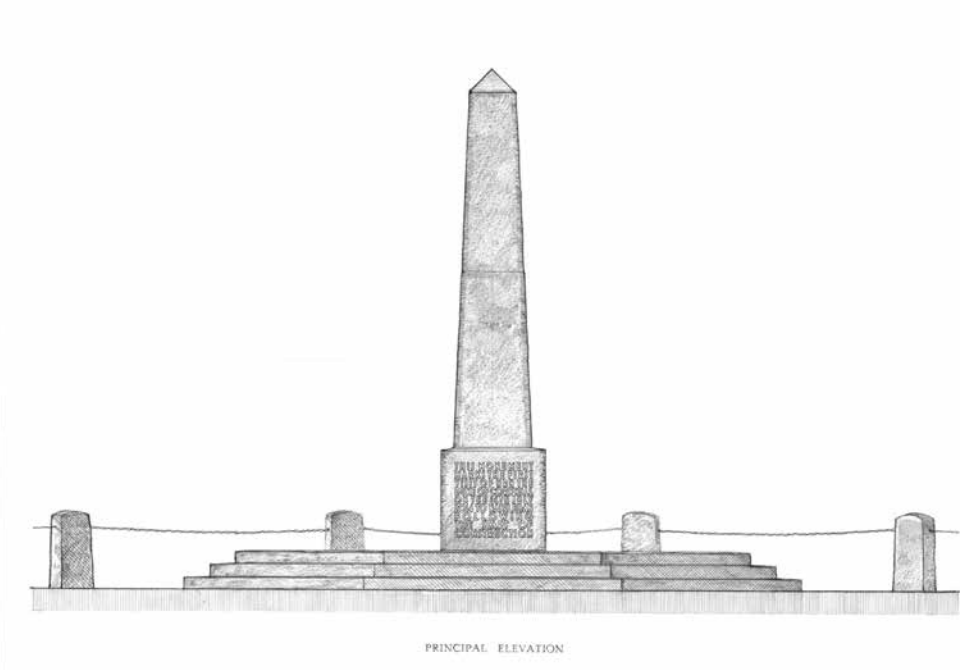


Monuments



Monuments provide focus and afford a sense of place. They also serve a purpose in preserving a memory. They can draw the community together yet, inevitably, as society evolves they can also become awkward by perpetuating a political doctrine which no longer feels right.

That aside well conceived monuments can play an important part in making a place. The Ashfield Partnership will endeavour to use monuments to play their part in making places special and meaningful.



Nansledan, Newquay, Cornwall

Guidance for Extensions

The new homes at Luzborough, Hoe Lane, and Whitenap have been designed to meet a wide range of accommodation requirements and are accordingly chosen by purchasers. It is recognised that needs may change over time for one reason or another leading to the need to reorganise the internal layout or perhaps to consider an extension or some adaptation to the property.

This might involve a loft conversion, the provision of a garden shed, the addition of a conservatory, or the enclosure of a car port. Proposals which could in some way alter the external appearance, and particularly if visible from the public realm, will require formal consent from the Ashfield Estate. It is vital that you do obtain such a consent and that this is then kept safely with your title deeds since it will be required in the event of a subsequent sale.

The place making on these schemes generally results in formal arrangements, symmetry, and composition which makes change quite difficult. The impact of change on neighbouring properties and to that

extent the views of those living locally will be an important consideration.

The best way to proceed when contemplating any change is to approach The Ashfield Estate for a preliminary discussion. Please do this rather than seeking a planning permission and then approaching The Ashfield Estate.

Every property on the three schemes will have been designed to address the street and the continuity of the frontage by the use of walls helps to create a sense of enclosure and urban form.

As a result no front projecting extensions, or additional enclosed porches, will be allowed.

The often used terraced arrangement will strictly limit the scope for side extensions. Where such extensions are possible and contemplated the following guidance is paramount.

The extension should be perceived as subservient to the original building and be complementary. The building line along the frontage should be respected.



Poundbury, Dorset

Guidance for Extensions

The form, materials, and detailing should match the original.

The extension should not compromise the privacy or amenity of neighbours nor harm the public realm.

Rear extensions are the most likely to be contemplated and to be found acceptable. It is still important to have regard to the grouping of properties and the views in from parking courtyards or mews. The following principles should apply:

Many properties will be serviced from the rear and it is vital to check first the information supplied to you when purchasing so as to avoid any potential conflict. If you cannot find the information ask the Ashfield Estate.

The extension should be subservient to the main building.

The form, materials, and the detailing should match or relate to the original building.

In some cases simpler materials for an extension may be better.

The extension should not adversely affect the privacy or amenity of neighbours.

The visual impact of the extension from the

public realm should be considered and could be mitigated perhaps by raising the height of a boundary wall.

Conservatories are widely marketed as home extensions. They come in all shapes and sizes, in a range of materials, and in any number of styles. Many conservatories may add space. Few add value. On the other hand something really well designed and matched respectfully to the property can achieve both objectives and be very liveable. The following principles and criteria will be relevant to granting a consent. As ever please speak first to the Ashfield Estate.

A conservatory should:

- **Be of modest size in relation to the ground floor of the house**
- **Be simple in plan and elevation**
- **Be simple in design and in proportion so as to complement the house**
- **Be of timber or possibly of sustainably sourced aluminium construction**
- **Be capable of concealment behind the property boundary which may need to be raised**



Building Materials & Details



The materials we choose, and how we use them, are key contributors to place making and reflecting local tradition. While appearance and the propensity to age well are important considerations it is a happy coincidence that the use of local materials is valuable in other ways. It makes no sense to drag heavy materials long distances in terms of carbon emissions and one way in which new development can contribute is to procure carefully within the local economy.

In taking trouble over the use of materials it follows that care is also needed in maintenance and where change is proposed. In simple terms that means using the same materials and adopting a regime of regular maintenance.

While we hope that natural materials used in construction should last well and need little maintenance timber windows and doors present a different challenge. The timber used by the Edwardians lasted very well providing it was painted and maintained. Many original windows from that era, and indeed of earlier periods, remain sound today. Modern timber does not last so well reflecting the more utilitarian approach of the contemporary world.

The Ashfield Partnership is looking at uPVC windows but as yet is not satisfied that this approach is feasible in terms of aesthetics and sustainability. As a result the



Ashfield Estate will not give consent to change timber windows to uPVC but this will be kept under review.

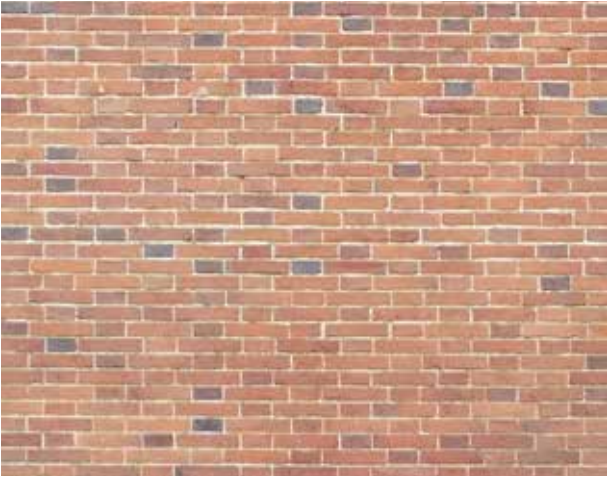
Much of the character is in the detail which helps to enliven relatively understated design. There is variety within these details and the matters covered below aim to highlight what is important so as to help guide where any change is contemplated. If a particular challenge has not been addressed here then do ask the Ashfield Estate before finalising your proposals.

External Walls and Elevations



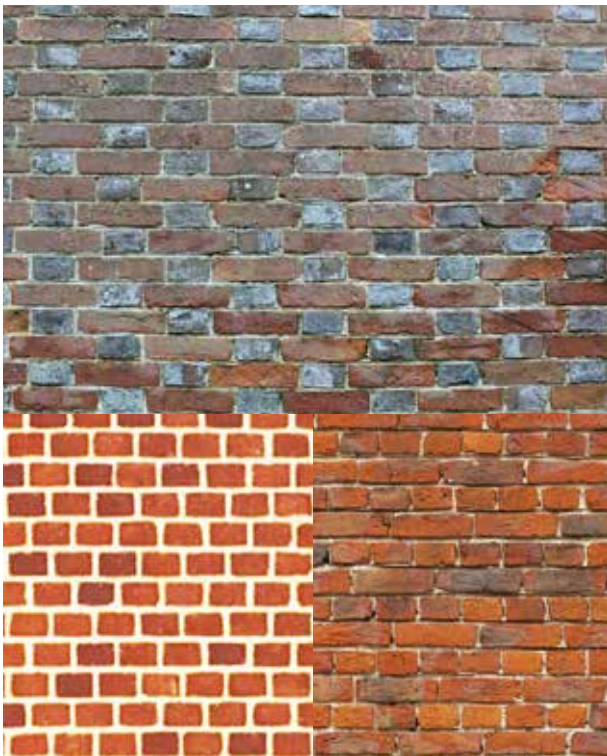
The palette of walling materials used by the Ashfield Partnership is fairly limited but is sufficient to give variety within an overall unity. Extensions or other alterations should enhance rather than detract from the character and using the same materials in the same style will be important.

Bricks



The simple rule is that one should follow what has been used already on the original property when proposing changes. Sample bricks should be agreed with The Ashfield Estate.

In the case of painted bricks the Estate can help you to source a suitable brick to take paint since it is likely that an extension should follow the precedent.



How we lay bricks is really important. Stretcher bond always looks mundane, lacking character, and ignoring tradition. It must not be used when making changes. There is a choice of bonds to use but following what has been used on the existing building is almost certain to be the answer. Favoured bonds are English and Flemish. Variants such as Garden Wall bond might be worth considering.

Painted bricks should also follow the bond used and probably also the colour used. A selection of pre-approved paint colours is exhibited in the Appendix.



The easy answer is to match the bricks used on your home. The Ashfield Partnership has tried to choose bricks to suit specific buildings and to use a pattern of bonding and mortar which reflects tradition. In cases of painted brick the choice of brick is still important in the sense of being able to take paint well. We will retain a schedule of the bricks used so as to help matching in the future.

Where appropriate we have used local brick such as Michelmersh. But the most important thing is the right mortar and the bonding. Mortar should match existing. This might be 1:2:9 white or ordinary Portland cement:white lime:washed sand. The silica alumina content of the mortar should not exceed

12% to avoid excessive hardness. Joints should be flush, concave, or double struck/bird beak pointed as work proceeds.

Mortar joints should be flush pointed and should not be weather struck, raked, or ribbon. Penny joints might be used on key buildings. In general mortar joints should be 10mm maximum.



Above is an example of some very good brickwork with some tiled decoration at Daneshill, a house by Lutyens, at Lychpit near Old Basing.

Lintels



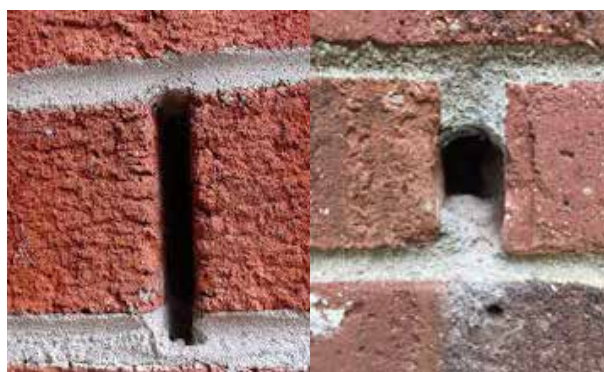
Lintels ought to be true load bearing constructions stone, brick, timber, flat tiles, or

painted concrete. Where brick or stone are used these should be formed as true arches. Rubbed brick lintels will have their place on key buildings. Rough arches in various forms (particularly the 'justified' rough arch) suit brickwork and should rise through four courses of brick. Voussoirs should be provided for stone construction. In some cases where render or brick is to be painted a simple slim reinforced concrete lintel may be possible.

The thing to avoid is anything which to the eye obviously cannot support the weight. The best example of this is a soldier course of upright bricks which one sees increasingly but which makes no sense.

Timber lintels, for example in oak, would be typically 150mm deep with a minimum bearing on either side of 215mm. If necessary a relieving arch in masonry above may be used.

Weepholes



The Ashfield Partnership has taken care over the provision of weepholes. Standard practice leaves a very ugly appearance on render and brickwork. Weepholes are important in order to keep cavity constructions dry but there is no need to make the front elevation of a building ugly in the process.

If you are proposing a change to your property you should ensure that the designer and the builder understand how to overcome this problem. The Ashfield Estate will be happy to help.

Tiles and Slate



The local tradition for roofs is plain clay tiles or slate and, in the main, relatively simple treatments are used. There is occasionally room for something special on the right building. If some change in the form of an extension is proposed

then to follow what has been used on the main building is the preferred option. If the roof being proposed is, however, of much smaller scale then a change to another material may make sense.

In the case of subordinate non domestic buildings it is no bad thing to consider corrugated iron. The Ashfield Partnership may use this, for example, on garages. There may also be a place for cedar shingles in some cases or oak.

In terms of slate the Ashfield Partnership prefers to use natural slate sourced from within the United Kingdom. Slate is readily available in Cumbria, Wales, and Cornwall.

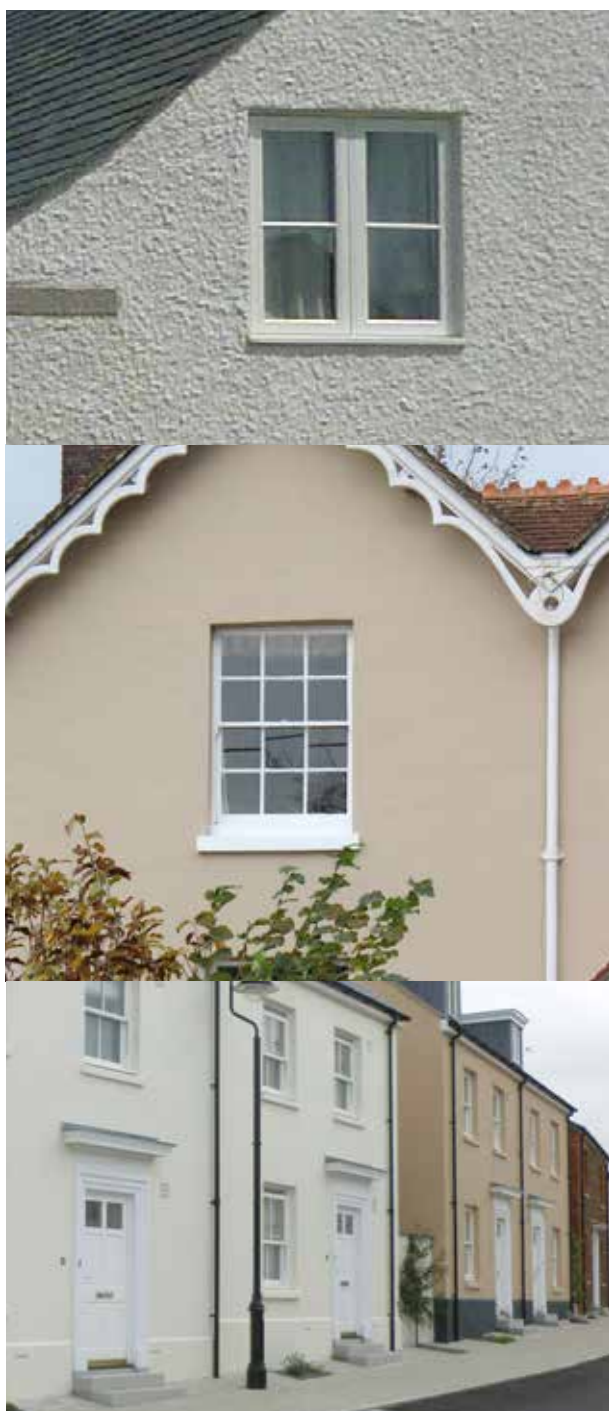
Thatch



There is a tradition of using thatch locally. It is a material which might well play a part within the schemes at Hoe Lane and Whitenap. Part of the problem is in being able to procure traditional

long straw thatching which would be far preferable to other forms in this location.

Render



Render can be applied to a range of background constructional materials. In this case the majority will be applied to an outer leaf of blockwork.

Render can be applied to achieve a range of finishes from rough harled to very refined stucco. While precision is necessary to achieve a finish without blemishes on the whole the appearance is much improved if external corners and reveals are hand made rather than being formed using metal or plastic stops.

Where render is to stop above the ground it needs to sit on a plinth which can be of masonry construction or a visual plinth can be formed in black bitumen. Bell drops are not used by the Ashfield Partnership and should not be considered if a change is proposed.

Where proposed works anticipate some render work then the style, finish, and colour of the render used on the main elevation of the property should be accurately followed.

Painted render is much preferred to through colour renders with artificial pigments which tend to fade rather disappointingly. The colours to be used for render are exhibited in the Appendix. If you wish to change the colour then you will need the consent of The Ashfield Estate who will consult with neighbours. Bear in mind that the appearance of the street as whole will be an important consideration.

The use of painted render does confer a repairing liability on householders but the benefit is that with regular repainting over time the buildings and the streets will achieve a very pleasing appearance.

Bath and Portland Stone



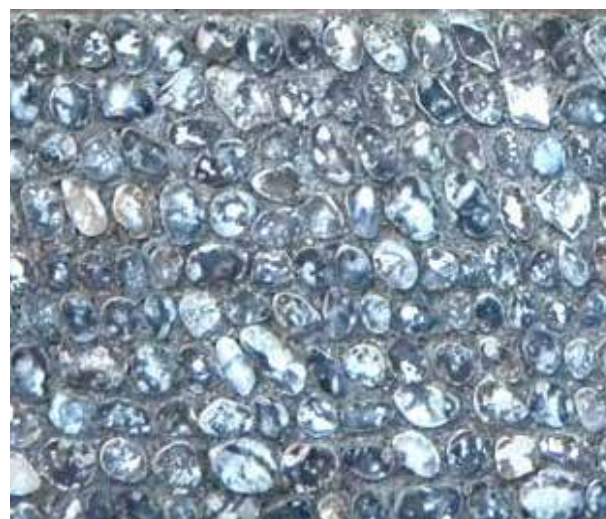
Relatively little stone is used in the Test Valley. Often the foil for brick and flint but rarely the key component. Copings, window and door surrounds, string courses, chimneys, and thresholds are good examples. A whiter stone with flint and a warmer stone with brick. The use of this material is helpful in defining a hierarchy and in providing variety. It is unlikely that a change proposed will require much thought about stone other than to follow the precedent accurately.

Weatherboard



At Luzborough weatherboard is being produced locally from oak grown on the Ashfield Estate. Where oak weatherboard is used the intention is not to paint or stain but to let it age naturally. In other situations there may be painted weatherboard and the colours should be selected from the approved colour chart.

Flint



The intention of The Ashfield Partnership is to use knapped flint sparingly but when it is used it should be traditionally built. The consequence is that if your home has knapped flint and there is a need to use it in an alteration please be aware that a traditional approach will be required as part of any consent.

Mortar



Lime rich mortar is much preferred to cement rich since the latter results in a cold, hard, grey finish for joints.

All mortar joints should be tamped with a stiff brush before setting so as to expose the aggregate.

Brickwork mortar should be 1 : 2 : 9 white or ordinary Portland cement, white lime, washed sand. The silica alumina content of the mortar shall not exceed 12% to avoid excessive hardness.

Joints should be flush, concave, or double struck/ bird beak pointed as work proceeds.

Mortar joints should not be weather struck, raked or ribbon. Penny joints might be used on high order buildings. Mortar joints shall be a maximum of 10mm to match the existing.

Windows



The size, shape, and proportion of windows and their panes in relation to the elevation is critical to the success of the overall design of a building. The size, profile and character of glazing bars should match those of traditional single glazing. They should be flat-fronted with concealed trickle ventilation. How windows are made and used reflects not just the tradition locally but also the climatic conditions and the orientation of the building. They also help to reveal the hierarchy of buildings and in some cases afford elegance by being of diminishing height in the upper storeys.

One of the key challenges in distinctive place-making is in the use of windows since modern regulations and conventional standardisation

means that the default position has become plastic windows in a very limited range of sizes, styles, and colours.



The Ashfield Partnership will use correctly designed traditional timber windows until such time as other materials can match their sustainability and design attributes. This means that any new or replacement windows proposed by residents will need to match precisely those used originally. It also means that windows will need to be maintained so as to extend their longevity.

Windows should not be adapted by residents for example by introducing different glazing or adding decals to give a stained glass effect.

Dormers



Dormers are both useful and can be very attractive however their scale and detailed design is vitally important. Dormers should not dominate the roof nor appear heavy in construction. The key message here is that they are possible as a proposal for change but very careful design will be necessary so as to enhance rather than to detract. Please consult The Ashfield Estate for guidance when contemplating such a change.

Doors and Porches



Doors and porches, just as with windows, are very important in creating good streets and places. The Ashfield Partnership will have given very careful thought to the door and porch design of your home. As a result proposals for change need similar care. The colours of doors and porches, the lighting, the numbering, bell pushes, and other door furniture such as handles and letterboxes are equally important.

Thresholds, doorsteps, the framing of doorcases, the use of lead, and the choice of roof materials for porches and canopies coupled with the way that the door meets the street or path matter in a number of ways.

As ever if you want to consider change then please consult The Ashfield Partnership so that ideas can be discussed before being considered for design and subsequent consent.

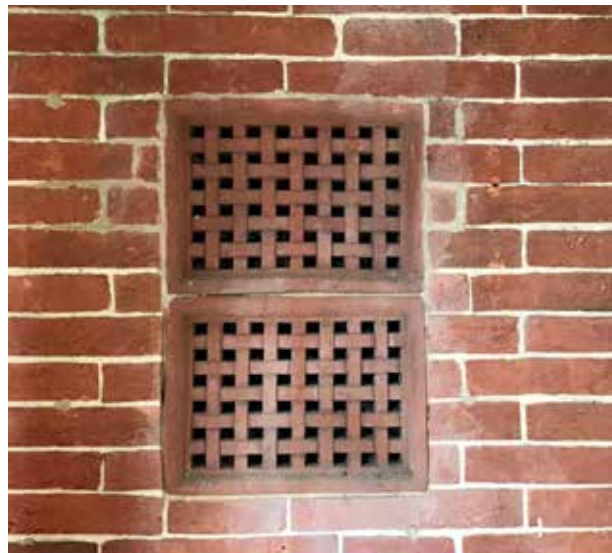
Copings



It is conceivable that if an extension is being considered that an enlarged side wall may be used to conceal or to be a practical part of the construction. How such a wall is finished with a coping will be important. There may be good precedent examples elsewhere on the development which could help to guide in terms of materials and dimensions. Fixing will also be important as will be the overhang and drip.

Airbricks

Where ventilation is needed in external elevations the location and the design of airbricks or metal grilles is very important. For example plastic vents located so as not to be symmetrical on the external elevation can spoil a house very easily. Particularly in combination with any other similar paraphernalia. We can do so much better both by choosing carefully and thinking about the



location. Here is a very good pair of airbricks made special by their woven design.

Meters & Flues

The Ashfield Partnership will not place meter boxes for utilities or flues on the front elevations of homes. In rare cases a thoughtful disguise may be necessary. Taking care over this subject in particular is central to good place making.

Leadwork

The simple lesson with lead is to use as little as possible and to be very restrained so as to avoid decoration. We need lead in certain situations but it is a functional material and not one to catch the eye.

Lighting

Restraint should apply here as well. The Ashfield Partnership will provide an external light to the front of dwellings having chosen a suitable design or placed a light invisibly within a porch or canopy. Additional lighting should not be considered.

Roof Lights



Roof lights usually reveal a house which has been modernised or ‘improved’. Where these are necessary then a simple conservation rooflight is the answer. How it is placed and its size will be very important considerations.

Ridges and Hips



Working with tiles and slate means that there are a few options for ridges and hips. Some better than others. Ridges and hips perform an important function but the most pleasing are those familiar to us on older buildings. Options include half round bonnets, angled ridge tiles, decorated ridge tiles in clay or engineering blue finish, and lead mopsticks. The neater the better and the size has to suit both the tiles used on the roof and the scale of the roof. Mechanical fixing of ridges and hips is discouraged. The ends of hips should be packed with tile to avoid showing large lumps of mortar.

Chimneys



Virtually every house has been designed to incorporate at least one chimney. Without chimneys new development lacks something and it's not just character.

Chimneys have a purpose and are necessary to serve open fires and woodburners as well as being useful for ventilation.

Fake chimneys for decoration which are not purposeful are discouraged. In some situations, however, the use of prefabricated chimneys and internal steel flues is permitted if traditional masonry construction for one reason or another is not feasible.

Rainwater Goods, Expansion Joints, and Rainwater Storage

Expansion joints will only be permitted if they are designed and constructed so as to be hidden in view from the public realm. One solution is to use a step in the elevation of a wall to hide expansion joints but, more often than not, it is a downpipe which is our best friend in solving this problem.

As to rainwater goods the Ashfield Partnership intends to use sustainably sourced anodised aluminium in a range of profiles and colours.



External Appearance

The key point here is to think not about the individual building but how that building contributes to the place making of the terrace, street, or square. In other words a set of unified buildings can be ruined by some individual elaboration or change. The loss of symmetry or more general coherence can affect the whole. To that extent change to a part of the piece has to be considered in the round.

Terraced housing is often thought of as a rung down from detached or even semi-detached composition.

Yet the grandest squares in London and streets in the great provincial towns and cities are often terraced. This form of development is highly efficient both in terms of the density achieved and the sustainability accrued through the use of materials and the thermal envelope. If some houses in the best streets in Bath or Belgravia had been modified by the Victorians by the introduction of bay windows then the quality of the place would have been compromised. The same thought is relevant today.



Outbuildings, Garages & Car Ports



These subordinate buildings are important in terms both of place-making and also function.

The Ashfield Partnership aims to build garages of a decent size from simpler materials in the hope that residents will park cars in them rather than using the space for storage. Car ports are often better used for parking in that they are unsuitable for storage.



The Ashfield Estate will look favourably upon applications for garden sheds since these can free up garage space. Fairly simple timber sheds preferably discreet from public view are best.

All these subordinate buildings may also be useful for photovoltaic panels and rainwater collection.



Boundary Walls, Fences & Gardens

The aim here is to create practical attractive solutions which also assist the environmental growth agenda.

Walls are likely to be of brick where three things matter. The bonding which we have covered already; the design of the coping; and the need for walls in their coursing to follow the slope of the ground. Not easy to achieve but it makes such a difference.

One option for garden divisions is to plan for indigenous hedgerows which provide good habitats for wildlife and also are permeable

for hedgehogs. Of course a hedge will require maintenance but so too does a fence. And fences have to be replaced from time to time. So as to provide a temporary boundary a split chestnut and wire fence or hurdles may be used with hedging plants on either side.

This provides limited initial privacy but it takes only a few years for a hedgerow to establish.

There will also be brick wall boundaries but more commonly where there is a need to enclose a garden which marches with the street frontage.



Ancillary Elements

Quite often small features added without care within domestic curtilages can mar the appearance of a building or a street. On the other hand good design or careful siting, so as to be unobtrusive, can make many things possible.

Examples of this problem include satellite dishes, awnings, prefabricated accessory buildings, security cameras, fascia lighting, novelty letterboxes, obscured glazing, and advertisements.

The Ashfield Estate will not give consent for this type of addition to buildings but will work with applicants to help find solutions. Satellite dishes are unnecessary given that The Ashfield Partnership plans to provide a communal aerial system and it is hoped that fibre optic will be laid to premises affording high broadband speeds.

Clothes dryers, meter boxes, air extractors, flues,

and dustbins, are examples of items which should be invisible from the public realm.

Where changes are proposed it is important to think through the implications first. It may be fine to plan a new shower but less so if it requires a waste or soil pipe to be added to the external elevation.

Tree Planting and Hedgerows

Trees and hedgerows grow well locally. Where land lies over gravel the quality of timber may not be first rate but trees perform many other valuable functions. Carbon sequestration, shade, habitat and food provision for wildlife, as well as natural beauty. Hedgerows also provide good wildlife corridors so that, in combination, thoughtful planting as part of a development scheme can contribute towards the environmental growth agenda.



Conventional practice suggests that existing trees should be retained even where these are veteran trees in decline which will need to be removed at some stage. In the meantime they may frustrate good urban design.

Might it not be better to plant for the future enabling greater freedom to remove existing trees which, on balance, do not merit protection?

The type of trees we plant also merits careful thought. Indigenous species must be best yet care will be taken given the recent series of tree diseases. That suggests we should use a variety of species but we can also plan planting in the context of the useful trees proposed for edible streets.

One reason why robust tree protection exists, yet should be challenged, is because it is designed for volume housebuilders which develop schemes and retain no further interest. In this case The Ashfield Partnership and The Ashfield Estate do have an enduring interest in these schemes. Rather than planting instant trees and leaving their future to the local authority an alternative longer term approach can be adopted. One which husbands the planting and can adapt to conditions.

Street Clutter

As ever less is more. The Ashfield Partnership will aim to keep street signage and street furniture to

a minimum. Streets will be designed so as to keep traffic speeds to a minimum and give priority to pedestrians and cyclists. As a result speed signs, white lines, and parking signage is generally superfluous. If residents park cars in garages there should be adequate space for visitors.

Lighting

The Ashfield Partnership is endeavouring to persuade Hampshire County Council to permit the use of well designed street lights and the use of some wall hung lanterns. In any event the aim is to seek the minimum amount of street lights.

Ordinarily alterations would not impact on signage, lighting, and street furniture but they are to be considered if change is proposed.

Communications

The hope is for fibre optic to be laid to premises enabling high broadband speeds. In terms of television The Ashfield Partnership plans to provide a central satellite system so that residents will not need to use individual satellite dishes.

Litter

We all have a responsibility to each other to keep tidy the places where we live.



Accessibility

This is a particularly challenging issue. The regulators say that 25% of new homes must be Lifetime Homes designed to meet the changing needs of people who may wish to live in the same house throughout their lives. Older homes are very difficult to convert when needs arise and, therefore, new homes must provide for future potential issues.

As a result homes now have to be designed to cope with everything from pushchair access, the needs of a growing family, and eventually for the elderly who may need access for wheelchairs. The result is homes being designed which may not appear natural in the street. For example if a house has to have a large covered porch/lobby the frontage of the house has to be set back from the pavement which militates against the ambition to make great places.

The obvious solution is to design a range of homes specifically to suit the various phases of life. We hope that many residents would want to stay within the community we hope to create. But we believe that people will move house

within that community during their lives to more appropriate accommodation. Providing we cater for those needs we believe we might more effectively deliver specific types of housing with that in mind. Otherwise we end up in the belief that people would want to stay in the same house all their lives and we have to design something which is everything to everybody.

The sound argument in favour of Lifetime Homes is that should somebody suffer an accident or a disability why should they be forced to move? The answer is to have alternatives available and a means for a transition to tailored accommodation. The Ashfield Partnership will need help from Test Valley Borough Council in terms of this approach.

In situations where a householder wishes to adapt a home to meet changed circumstances The Ashfield Estate will be sympathetic and will aim to help find practical solutions which do not harm the quality of the place.



Whitely, Hampshire

Environmental Issues

The aim of The Ashfield Partnership is to build homes which have a good thermal envelope so as to reduce the need for energy consumption in heating or cooling. There are many other factors which determine the true sustainability of new development schemes including food sourcing, commuting, recycling, water consumption, the materials used in construction, and how a place affords opportunities for residents to make responsible choices.

Attractive places are one thing but the approach here is also to meet high environmental standards. Any change proposed by a householder will need to consider this objective including materials, insulation standards, planting, and provision for indigenous species. Decisions about changes

proposed will take into account broader environmental considerations.

One particular issue captures the dilemma. One might think that the use of photovoltaic panels on roofs would be an obvious choice. In principle however, it is their appearance which could compromise efforts devoted to place-making. While there have been advances in the technical efficiency of solar pv there has been limited progress in terms of aesthetic appearance.

There are solutions for those wishing to install solar pv but not in every case. It may be better, for example, to use the roof of a terrace or garages or car ports. The point is that residents should not assume that consent will be given for the installation of solar pv on a house roof.



Utilities

The intention here is to free front elevations, which are so important to creating good streets, from any unnecessary clutter. The Ashfield Partnership aims to locate meter boxes to the side, rear, or internally. Where services run in from the rear, usually through a courtyard, this constrains options in the future for built extensions without great care and planning. Do not therefore carry out any excavations within your garden without seeking consent and checking with The Ashfield Estate and the utilities' providers.

Flues and vents should also be hidden or disguised so as not to jar with the composition of

the front elevation. Great care is taken to achieve this, since it is so important to the appearance, and the consequence is that if you wish to make alterations which might require a flue or a vent you will need to design in such a way to keep the front elevation, in particular, sacrosanct.

The schemes are designed to have the benefit of fibre optic broadband but also with a central satellite system so that no television aerials or satellite dishes will be necessary.

Consent will not therefore be given for either aerials or satellite.



Birds & Bees



Habitats for bats, birds, and bees are built into the fabric of the schemes at Luzborough, Hoe Lane, and Whitenap as part of the strategy for Environmental Growth.

Nesting boxes are commonly located on gables and just below the eaves. These are intended to provide opportunities for species such as swifts which are losing habitats as older buildings are modernised or re-roofed. These boxes are likely to be used by other species as well.

Bee bricks are used to help support solitary bees such as leaf cutters and red masons which are not aggressive but are very important for pollination of trees and plants.

It is important that we do not tamper with these features and if an alteration is proposed that it takes the provision into account.

Edible Planting

The Food and Farming Strategy is central to the thinking behind the three new development schemes. The philosophy extends to the provision, within the schemes, of edible streets. This is explained more fully earlier in this document but the idea is simply to plant usefully rather than ornamentally. The Ashfield Partnership hopes that residents will embrace this approach and help to protect, preserve, and develop the concept. Residents may wish to provide some colourful planting at the front of their homes and this is welcomed so long as the edible planting is maintained.

The Ashfield Estate will be looking for volunteers within the new schemes to help manage the fabric. However we dress this up it means work! Looking after the place in which you live is the solution. Would you be prepared to gather fruit, nuts, and herbs. To grow your own vegetables and to compost the waste? Would you join a pruning party with your neighbours to make the street a part of your garden? If so this would be a really great asset to the delivery of the vision.



Making Your Application

The Luzborough Stipulations set out in Appendix 3 form part of the legal title to each property and are binding on freeholders and tenants alike.

Certain restrictions within the Luzborough Stipulations provide for The Ashfield Estate's prior consent to be obtained particularly the plans and specifications of any alterations or additions, particularly of windows, glazing, doors and facades and roofs which would change the appearance most importantly from the public realm.

While everybody is expected prudently to maintain their properties consent is required to paint or decorate the exterior of the building otherwise than in the same colour as previously. The same applies to the painting of render, brickwork, and weatherboard.

In making an application for any matter requiring consent it is vital to present a clear and accurate picture of what exists and what is proposed. The level of documentation will be related to the extent of what is proposed. Drawings must be to scale and with sufficient detail to illustrate the proposals in context and that may mean in relation to a terrace or group of buildings. Photographs may be helpful.

In an ideal world a scale of a minimum of 1:100 and ideally 1:50 will be required. For fine detail and particular features a scale of 1:20 may be necessary.

Applications will be considered by The Ashfield Estate. The policies and criteria set out in this guide will determine consideration and will be the basis for granting consent. The Ashfield Estate may consult neighbours taking their views into consideration but, more often than not, for minor proposals will ask the applicant to ensure that their neighbours are content.

In some cases amendments could be agreed in order to achieve consent. In cases of refusal the reasons will be explained. In some cases The Ashfield Estate may wish to reserve the right to agree and to charge a fee.

In all cases the formal grant of consent will be a very important document and is something that a householder should make sure is kept safely with title deeds as it is bound to be necessary if the property is later to be sold.

Informal discussion prior to making an application will be welcomed and may be helpful in refining a concept before it is drawn up in detail. Applications should be submitted to The Ashfield Estate. *Until The Ashfield Partnership website is operational we hope in January 2019 and linking to The Ashfield Estate website you should approach the Estate via Tim Gray.*

email: tim@casapediaconsulting.com

Tel: 07855 959377

In the longer term it is possible that the management of the Luzborough Stipulations will be devolved by The Ashfield Estate to a Residents' Association or similar body so that matters can be managed by the community faithful to the original vision of The Ashfield Partnership.

Planning permission and building regulations approval may well be required in addition to the consent of The Ashfield Estate. The local planning authority is *Test Valley Borough Council, Beech Hurst, Weyhill Road, Andover, SP10 3AJ*

email: info@testvalley.gov.uk

Tel: 01264 368000

The Natural World We Share

Well thought out new development can mitigate its impacts and, we believe, even enhance opportunities for wildlife but it depends on what we provide and how we do things. There is an aspiration to prove that new development, if thoughtfully conceived and delivered, can respond to an environmental growth agenda so as to help endangered species and sponsor better overall biodiversity. This sounds unlikely since the modern rubric suggests that all development means concreting over the land to the detriment of everything we cherish. That is one reason why the volume house builder model provokes such opposition.

The challenge here is whether in fact there is an alternative. Whether despite development to meet the nation's demand for new housing and employment it can be done in a way which physically and positively contributes. This notion of environmental growth sounds so unlikely that it beggars belief. Let's consider some examples.



River Test, Hampshire

Migratory Birds & Insects

One of the most dramatic declines is that of the turtle dove with a decline of 88 per cent since 1995. The following species have also declined over the same period: wood warbler, 66 per cent; pied flycatcher, 53 per cent; spotted flycatcher, 49 per cent; cuckoo, 49 per cent; nightingale, 43 per cent; and yellow wagtail, 43 per cent. *RSPB 2014*. In broad terms it is the decline in the insect population of England, largely attributable to the use of pesticides in intensive farming, that imperils many of the bird species at most risk. Not only do insects pollinate plants for us they also provide essential food for many bird species.

The Swift population has fallen by 51% between 1995 and 2015 and for this species in particular it is also threatened by changes to the built environment which provides its nesting habitat. Repairs and improvements to old buildings through modernisation, coupled with contemporary roofing techniques, are robbing swifts of places to nest. This remarkable species deserves help and we can make a real contribution when we build.

The measures put in place by The Ashfield Partnership aim to assist. But we can all do so much more. We should be thinking not only about how we share the natural world but what we can do to educate the next generation. The key message here is to take an interest. No more than that. There may be initiatives which we have overlooked and it would be excellent if you or your neighbours had good ideas which we could then build into the schemes. There is no point doing good things together if we cannot make a difference to help influence how new development might better face this challenge.

In a previous section we have set out the measures planned. We may want to work with the RSPB to evaluate the outcomes and we would need enthusiasts to help us to do that.

Pollinators - Solitary bees are different from honey bees and bumble bees.

Solitary bees are not simply bees who have left the hive and are now alone. There are over 200 species of solitary bee and, as the name suggests, they live alone, although in truth they often nest close to one another. They do not produce honey or wax.



They are responsible for around a third of all food we eat.

Solitary bees carry out a vital role in pollinating our crops, and also flowers and trees. In some parts of China pollination is already being undertaken using paintbrushes because there are no bees left to do it naturally. We used to think that honey bees were the biggest contributors to crop pollination but that simply isn't the case today. All types of bees are important.

They are non-aggressive.

Because solitary bees do not have a store of honey to protect they are non aggressive, meaning they are safe around pets and children. The males generally have no sting and the females will only sting if handled roughly or trod on. Perfect therefore to encourage into your garden or allotment or new build development.

They have a short, but busy, life cycle.

Generally (across the species) solitary bees emerge from their nests in the spring. Males emerge first and, after feeding, they hang around the nest waiting for the females. Once mating is complete the males die fairly quickly, what a life! After mating the females will begin the process of nesting, selecting a suitable site, constructing the nest and laying anything between 1 and 20 eggs. The female eggs will be at the back of the nest and the males at the front. The eggs will hatch into larvae, which feed on pollen and nectar that the female has stored within each nest. The larvae develop and pupate, emerging the following spring and repeating the cycle.

Their habitat is under increasing threat.

There are many factors in declining solitary bee numbers, including increased use of chemicals in farming, less wildflower meadows and less suitable habitat. As fields become bigger we lose more hedgerows, which used to provide ample homes to a wide range of wildlife. Also as we build more and more properties and landscape our gardens we unwittingly destroy habitat and nests as we do so. We developed the bee brick as a means of increasing consideration for the habitat of solitary bees, by creating a possible nesting site for them in each new development, garden or wall.

Hedgehogs

Some people suggest that the national population of hedgehogs has fallen from 37m in the 1950s to about 1.5m today. Recent research by the British Hedgehog Preservation Society and the People's Trust for Endangered Species indicates that rural hedgehog populations are declining more quickly than their urban counterparts.

Many contend that increasing numbers of badgers is a contribution, but other factors may be more important. These include road deaths from traffic and the loss of habitat.

It makes sense in new developments to do what we can to help hedgehogs. Planting and making access through gardens easier is one way to help. It may be no more than making garden fences permeable. We should not use slug pellets and must take care when strimming. If we can leave even a little wilderness area that would also help and we should not have garden bonfires. Netting is perilous for hedgehogs.



Environment & Sustainability

Light pollution

Within the three development schemes we do all we can to reduce the amount of light and where lighting is necessary to provide it in such a way that it does not contribute to light pollution. This means lights that shine downwards and where we can to hide lights away, under porch canopies for example, so that the light fulfils its purpose but without doing more.

The Ashfield Partnership will install external lights for homes but does this on the basis that residents do not then need to do more. The installation of additional lights would need the consent of The Ashfield Estate and for the reasons above it is unlikely that consent would be granted.

Recycling

Thinking about recycling effectively is an important contribution towards the future of the planet. Decisions about what we buy in light of how it is packaged are critical. Why we buy water in plastic bottles is a mystery.

Growing Your Own

The Ashfield Estate intends to encourage and make provision for you to grow at least some

of your own food. This may take a number of forms as already discussed but the success of this approach depends upon the enthusiasm of residents and their families. The key point is that The Ashfield Estate will be highly responsive so as to assist where there is demand.

Local Sourcing and the Local Economy

Where we can do so supporting local suppliers and business makes sense. Indeed in providing for mixed use development schemes the ambition is to facilitate new local business to take space within the schemes and these are more likely to prosper if they are used by residents.

Woodland Management

The Ashfield Estate believes that the new development schemes can be the catalyst towards a more proactive and effective woodland management regime. This is based on the assumption that woodland products will be saleable to new residents. There might be possibilities beyond firewood, fencing, and bean poles. It will depend on demand but, for example, The Ashfield Partnership is using Estate timber for weatherboard at Luzborough.



The New Forest

Proximity to the New Forest determines the need for the three sites on The Ashfield Estate to provide Suitable Alternative Natural Greenspace. The fear is that otherwise residents will drive to the New Forest to walk dogs which would potentially be harmful.

It is important that residents understand the issue here and equally that the alternative provision made by the Estate is well used. The Ashfield Estate will always be willing to listen to good ideas so as to achieve improvements.

Emer Bog and Baddesley Common

Emer Bog is an excellent example of a lowland valley mire. It has a rich flora and fauna dominated by bog species including reeds and sedges. Downstream, the bog gives way to a mature alder carr, whilst upstream, it moves into heathland with pine, birch and scrub. Baddesley Common contains remnants of former common land. Today, it forms an acid grassland dominated by purple moor grass, cross-leaved heather and meadow thistle.

In much the same way as the New Forest these areas also need to be protected from the increased pressure of new housing schemes.

The Test Valley

The River Test is the key local geographical feature. About forty miles in length it is, in addition to its tributaries, the best known, and probably the finest, chalk stream in the world. It happens to run through some of England's special countryside and how that land drains into it is of significant importance. Landowners within the catchment, as well as the planners, have a

role to play in maintaining its quality for future generations. It supports a remarkable eco system and is host to many threatened species.

Both agricultural regimes and new development will influence its diversity and character. By design new development can actually perform a good role but this is in tandem with responsible farming techniques. There are concerns about water abstraction and in terms of surface water management partly to do with the quality of the water discharged but also in relation to flooding.

Development is often, in combination with the broader issue of climate change, considered to be a negative factor. In fact by the responsible use of Sustainable Urban Drainage Systems there is the scope at least to protect, if not even to enhance, outcomes. How the rain that falls in the catchment reaches watercourses is manageable but the pressure for water arising from new development is perhaps of greater concern.

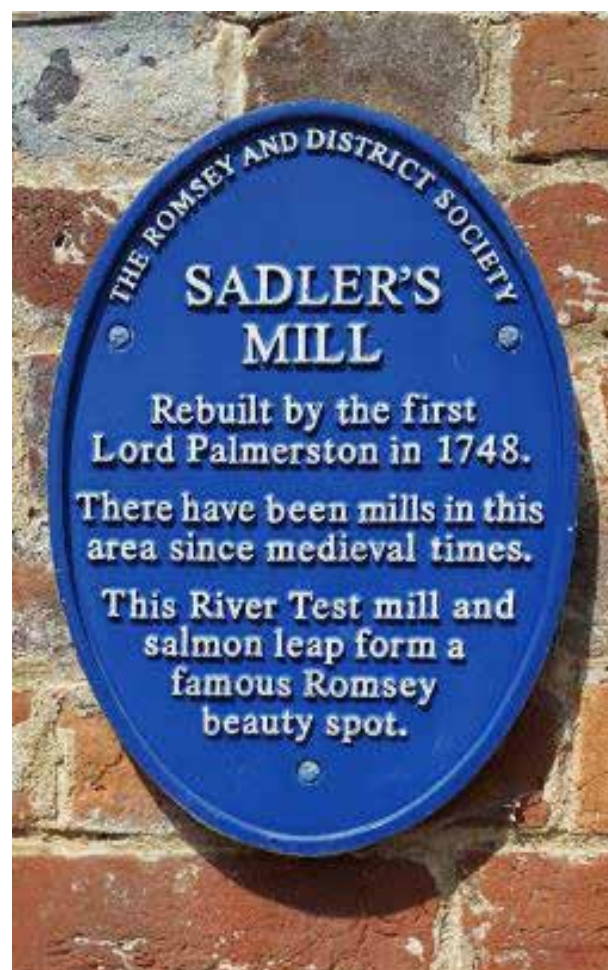
Nobody knows for certain but the special character of chalk streams has to do with the ability of the chalk hinterland upstream. This geographical magic captures and retains rainfall, filters it slowly, and releases it some time subsequently providing both a quality and moderated quantity of cool water into the watercourse. The river rises and falls slowly as a result aided by the relatively gentle topography.

Naturally enough the really important influence is within the large catchment some way upstream. But what we do even closer to Southampton Water is just as important for the Ashfield Estate. The holistic approach envisaged by The Ashfield Estate is that the development schemes, in the

context of the hinterland Food and Farming Strategy, can make a real difference. If that land can be productively farmed under a regime based, not on subsidy, but on low impact grazing the reduction in artificial fertiliser, pesticides and weedkillers will bring benefits to the river downstream. Every little helps.

How does this matter to you? The answer is in three parts. What you put down your drains matters. How you conserve your water also matters. And finally your support for local food within the Food and Farming Strategy would be really helpful. As a result we will provide advice and support. From a physical point of view the Ashfield Estate and the Ashfield Partnership will tackle surface water drainage to the best of their abilities and every new home will have some means of retaining water for use in gardens.

As ever with nature what you give and what you take really matters. You do not have to become eco warriors but you can contribute by thinking carefully about how you operate as a household.



Legal Notices

1. The images of the proposed schemes at Luzborough, Hoe Lane and Whitenap in this Code are indicative only and not definitive. They are not and should not be treated as representations as to the final appearance and design of all or part of the schemes.
2. The term Partnership in respect of The Ashfield Partnership is used to describe the four parties working together - The Ashfield Estate, C. G. Fry & Son Ltd, Morrish Builders and Wyatt Homes. The Ashfield Partnership is not a formal, legal partnership with joint and several liabilities. Nothing in this Code is intended to or shall be deemed:
 - (a) to establish any partnership between any of the four parties;
 - (b) to constitute any of the four parties as the agent or partner of another party; or
 - (c) to bind any of the four parties in respect of any commitments for or on behalf of any other party.
3. All Masterplans exhibited in this Code can only reflect present thinking. These Masterplans will evolve and change over time and The Ashfield Estate and The Ashfield Partnership reserve the right to make changes.

Appendices



Hoe Lane



Appendices:

Approved Colours

Lettering & Signage

1. House Names

2. Numbers and Street Names

Luzborough Stipulations

Appendices

Approved Colour Chart

In evolving the design of the schemes a palette of paint colours has been chosen to reflect the local vernacular tradition. We hope that these colours find favour, however, we recognise that even traditions can evolve.

The colours exhibited below for windows, doors, and masonry are the ones we have chosen. The key thing is that these choices are made so that the street works as a piece. Naturally some of this is subjective and careful change is not ruled out but the the consent of the Ashfield Estate will be necessary.

If you wish to propose a colour not exhibited here then make a proposal. Consistent with any proposed change it will be important to ensure that your neighbours are consulted and are happy.

Lettering and Signage

a. House Names

The naming of new homes at Luzborough, Hoe Lane, and Whitenap is not encouraged. This may sound dogmatic but you will notice that some of the best addresses and places in this country have only very plain numbering and it is this simplicity and restraint which helps to make a place special. In cases on modern housing estates where occupiers are left to add their own numbers and some use names the coherence of the street is lost and the effect can be of clutter. The Ashfield Partnership will provide numbers and will aim for this to appear in tune with the street naming and signage.

b. Numbers and Street Names

Numbering and Street Name signs are consistent in position so that they are easily read and understood particularly by the emergency services. In many cases Street Name signs are placed on the external walls of buildings and specific rights are reserved from the conveyance documentation for this purpose. For the sake of everybody it is important that they are not obscured or altered in any way.

In general terms the aim is to provide signs and numbers of a size and at a height which is easily read but otherwise to be symmetrical.

Approved Colours

Sandtex X-Treme X-Posure Smooth

W1210D		RAL5024		N4611P	
P2331L		RAL3015		L6571Q	
B7801H		RAL6019		L4741B	
A1570R		RAL7031		L7621V	
A1740V		RAL1001		X6610S	
RAL1015		B6770Y		X1640V	
RAL9001		B8870L		Z0660N	
RAL9003		B1820Q		TBC	
RAL9010		A6830S		F1390U	
RAL6034		N8700Z		A1510D	

Approved Colours

Sandtex Flexigloss X-Tra/Crown Trade Full Gloss

RAL5001		RAL6005**		N5203Y	
RAL5002		RAL3003**		M1393S	
RAL5012		RAL3005**		F1390U	
RAL5013		W6072V**		F3001	
RAL5024		X3093Y**		D3491C	
RAL6034		X5124Q**		D5261H	
RAL6003		B8870L		G9351H	
RAL9001		B1820Q		G3061A	
RAL9003		N3452K		C8851K	
RAL9010		N5274H		G8530S	
RAL7021		N8132S		G9300S	
RAL7031		NPO15Q		H8120V	
RAL7046		L9192N		RAL1015	

Luzborough Stipulations

1. To comply with the Design and Community Code in respect of the Property.
- 2.1 Not:
 - (a) to make any alterations or additions in or to the exterior of the Property (including the windows the window glazing and the doors);
 - (b) to alter the external appearance of the Property;
 - (c) to paint or remove the exterior render brickwork or stonework of the exterior of the Property;
 - (d) to build upon any garden yard forecourt or open area forming part of the Property or;
 - (e) to pave over any garden or landscaped area forming part of the Property without The Ashfield Estate's prior approval provided that The Ashfield Estate may refuse to approve any matter which is not consistent with or is in breach of the Design and Community Code.
- 2.2 To carry out any matters approved under Paragraph 2.1 in accordance with:
 - (a) the Design and Community Code and
 - (b) any drawings plans and specifications approved by The Ashfield Estate.
- 2.3 To give to The Ashfield Estate:
 - (a) notice of any application for planning permission made by the Owner or any other person in relation to the Property and
 - (b) a copy of the application and all drawings plans and specifications in relation to the application.
- 3.1 At all times well and substantially to repair paint and clean the exterior of the Property so that the Property shall as far as practicable retain an appearance and colour similar to that at the date of the initial construction subject to any alterations approved by The Ashfield Estate.
- 3.2 Not without the prior written approval of The Ashfield Estate to decorate or paint the exterior of the Property otherwise than in the same colours as the Property was originally painted.
 - 3.2.1 To maintain and when necessary replace all boundary walls fences and hedges.
 - 3.2.2 Not to raise the height of any boundary walls fences and hedges.
- 3.3 Not to build any wall fence or other structure or erection on the part of the Property edged orange on the Plan (if any).
 - 3.3.1 To maintain the part of the Property edged orange on the Plan (if any) as a [planted area].
 - 3.3.2 Any reinstatement of any damage or destruction of the Property shall be to its original condition
- 4.1 Not to use the Property for the carrying on of any trade or business subject to Paragraph.
- 4.2 To use the Property as a single private dwelling for the occupation of one household save that the Property may be used for use for business on the following terms:
 - (a) the business use must be ancillary to the principal use of the Property as a single private dwelling;
 - (b) the prior approval of The Ashfield Estate must be obtained;

Luzborough Stipulations

- (c) the business use must be capable of being carried out in accordance with the principles of the Estate and without detriment to the amenity of the Estate by reason of noise nuisance or otherwise and
 - (d) the appearance of the Property as a single private dwelling must not be affected or altered.
- 5.1 Not to do or permit to be done in or upon the Property anything which may be or become a nuisance annoyance or inconvenience or cause damage or loss to the owner or occupier of any other part of the Estate.
- 5.3 Not to allow on the Property the emission or production of any recorded or broadcast sound so as to be audible outside the Property.
- 6.1 Not to mutilate or remove any trees or shrubs which may be planted within the Property.
- 6.2 Not to plant any trees or shrubs within the Property other than in a location approved by The Ashfield Estate.
- 6.3 Not to relocate any trees or shrubs within the Property other than in a location approved by The Ashfield Estate.
- 6.4 To maintain lop top prune and cut any trees or shrubs within the Property as may be necessary to preserve the amenity of the Estate.
- 7. Not to put any sign advertisement notice plate placard hoarding or flag of any kind in any window of the Property or on the exterior of the Property or so as to be visible from the outside of the Property other than:
 - (a) the existing building number;
 - (b) the name of the Property on a sign of a size and in a position first approved by [The Ashfield Estate and
 - (c) one board of a reasonable size advertising that the Property is for sale.
- 8. Not to expose any washing or clothes on or from any front elevation or front garden of the Property.
- 9.1 Not to keep any bird dog or other animal on or in the Property other than the usual domestic pets.
- 9.2 Not to keep or permit to be kept any bird dog or other animal which may cause annoyance to any owner or occupier of any other part of the Estate or to the general public.
- 10. Not to obstruct or permit to be obstructed any common roadways pathways courtyards or other communal areas within the Estate.
- 11.1 Not to park or permit to be parked on any parking space any vehicle other than a private motor vehicle.
- 11.2 To use any parking space within the Property or in respect of which an exclusive right to park is granted with the Property for parking in priority to any parking space in a Communal Area or on a highway.
- 11.3 Not to park any motor vehicle on any parking space in a Communal Area if no motor vehicle is parked on any parking space within the Property.
- 11.5 Not to carry out any works of repair to any motor vehicle on any parking space within the Property or on a Communal Area so as to be visible by the public.

Luzborough Stipulations

12. Not to use or permit any parking space designated by The Ashfield Estate as a visitor's parking space to be used other than for occasional visitor parking.
13. Not to permit any trailer caravan motorised caravan or boat or other similar thing to be brought onto the Property or to be parked in any parking space within the Property or any Communal Area or on a highway.
14. Not to erect or permit to be erected any aerial dish mast or cabling or other communications or receiver equipment or any other equipment machinery plant or system on the exterior of the Property without The Ashfield Estate's prior approval and other than in accordance with the Design and Community Code.
15. Not to keep or leave any rubbish or refuse on or near to the Property other than in a proper receptacle and only on the day stipulated for the collection of the same by the relevant collector or rubbish on the Estate.
16. To comply with all planning permissions relating the Property.
17. To comply with such regulations as to the amenity and use of the Estate as may be issued by The Ashfield Estate from time to time.
- 18.1 Upon notice from The Ashfield Estate of any breach of any obligation under this Schedule to remedy the breach as quickly as reasonably practicable.
- 18.2 If any breach has not been remedied in accordance with Paragraph 18.1 The Ashfield Estate and any persons authorised by [him][it] may upon reasonable prior written notice enter the Property (with plant equipment and machinery) and carry out works and take action to remedy the breach.
- 18.3 To pay within 10 days of written demand all costs and expenses (plus VAT) incurred by The Ashfield Estate under Paragraph 18.2.
- 19.1 Not to transfer or let the whole or any part of the Property without procuring simultaneously with such transfer or lease that the transferee or tenant obtains a copy of the Design and Community Code.
- 19.2 Not to transfer or let for a term of [5] years or more the whole or any part of the Property without procuring simultaneously with such transfer or lease that the transferee or tenant delivers to The Ashfield Estate a completed Estate Deed.
- 20.1 In this Schedule:
 - (a) references to the Property are references to the whole or any part of the Property;
 - (b) an obligation not to do or omit to do any act or thing includes an obligation not to permit or allow that act or thing to be done or to be omitted to be done.
- 20.2 In respect of any approval by The Ashfield Estate under this Schedule:
 - (a) every application for such approval shall be in writing and shall be made to The Ashfield Estate at or such address as The Ashfield Estate shall notify to the Owner;
 - (b) such approval may withheld in respect of any matter which is not consistent with or is in breach of the Design and Community Code;
 - (c) such approval shall not be unreasonably withheld save where any matter is not consistent with or is in breach of the Design and Community Code;

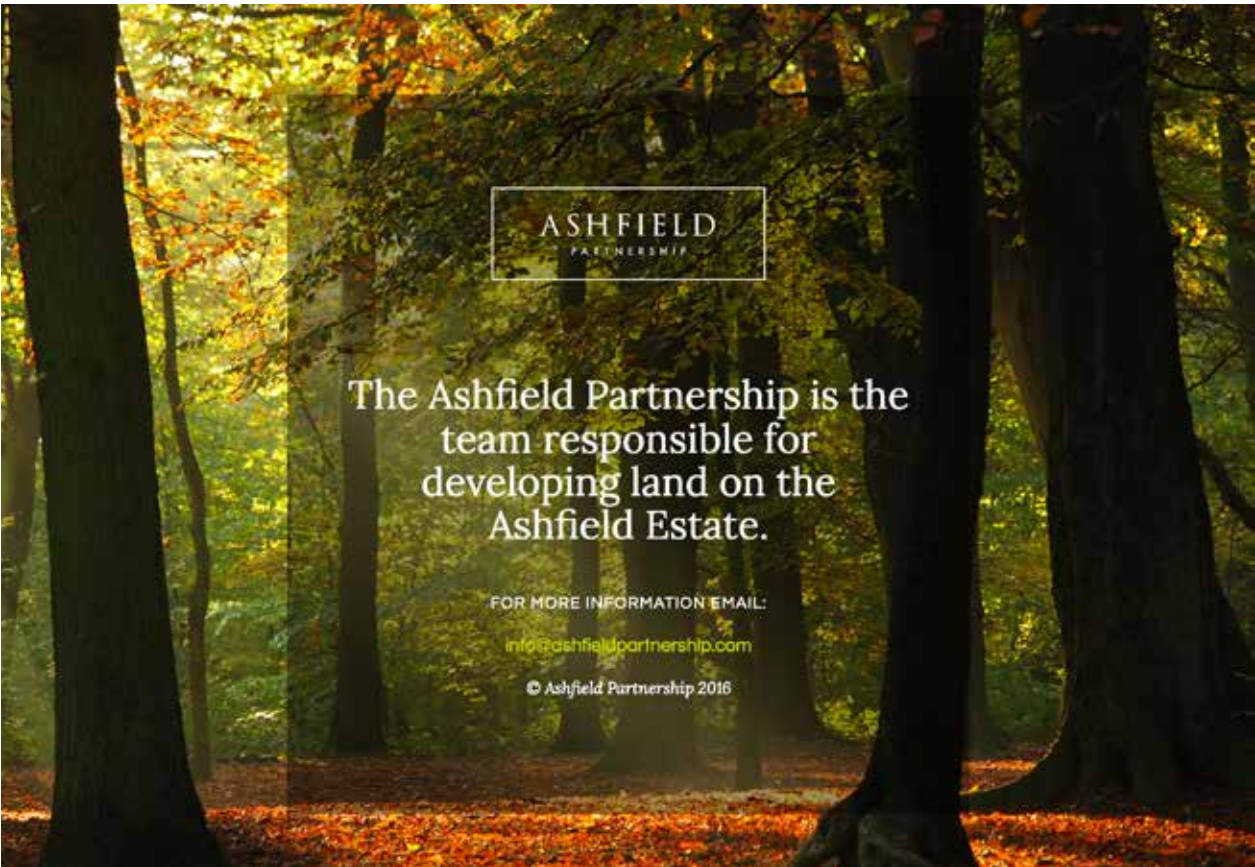
Luzborough Stipulations

- (d) such approval shall be in writing;
- (e) The Ashfield Estate may where appropriate require the submission of proper drawings plans and specifications in respect of the application for approval;
- (f) The Ashfield Estate shall not as a condition of its approval require the payment of any sum other than his reasonable costs and expenses incurred in respect of the application (whether or not consent is given) and
- (g) The Ashfield Estate shall be paid on demand the reasonable costs and expenses

incurred by The Ashfield Estate in respect of any application for any approval under this Schedule.

20.3 Any notice under this Schedule shall be in writing.

20.4 If any sum due to The Ashfield Estate is not paid on the due date interest at the rate of 4% above [National Westminster Bank plc's] base rate from time to time shall be payable to The Ashfield Estate on that sum from the due date for payment to the date of payment.



ASHFIELD
PARTNERSHIP

The Ashfield Partnership is the
team responsible for
developing land on the
Ashfield Estate.

FOR MORE INFORMATION EMAIL:
info@ashfieldpartnership.com

© Ashfield Partnership 2016